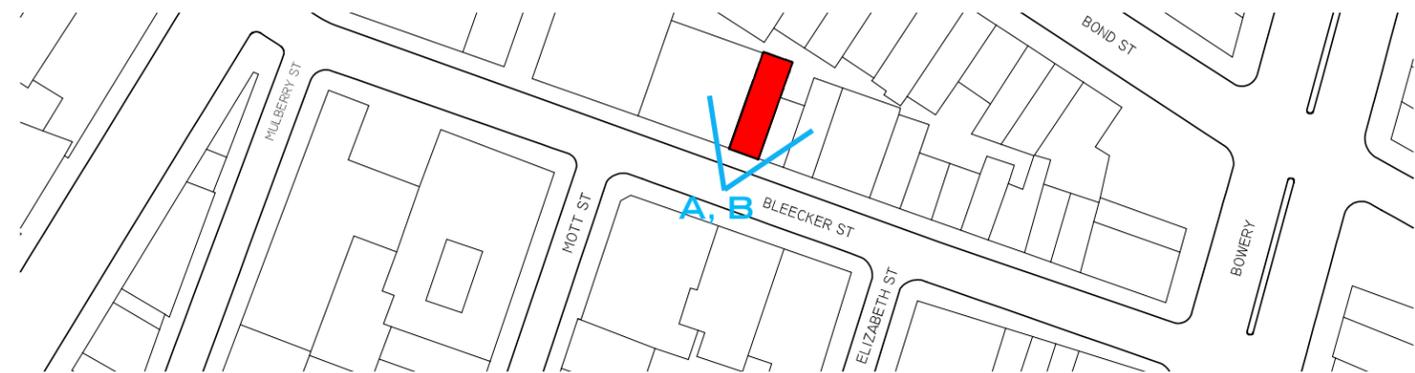




LPC PREVIOUSLY APPROVED FACADE - MARCH 2014



A - 1940 TAX ID PHOTO

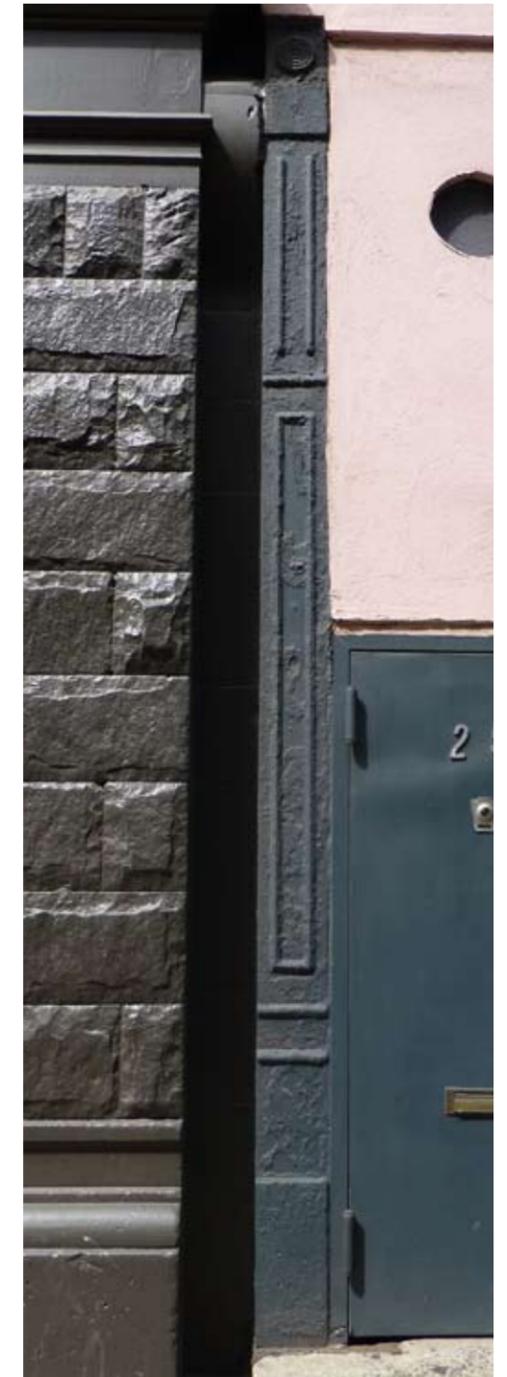


KEY PLAN - BLEECKER STREET



B - EXISTING BUILDING

Built
1830, Altered 1984
Architect
unknown
Type
Dwellings, Commercial
Style
Federal, w/ Italianate and Art Deco alterations



EXISTING ORIGINAL PILASTER
(ONE OF TWO REMAINING)

TAX ID PHOTO, EXISTING PHOTO, DETAIL PHOTO



25 BLEECKER ST

PROPOSED COLLAGE
PARTIAL BLOCK BETWEEN 31 AND 15 BLEECKER STREET LOOKING NORTH

PROPOSED BUILDING IN CONTEXT



EXISTING BUILDING - VIEW FROM BLEECKER STREET LOOKING NORTHEAST



PROPOSED RENDERING - VIEW FROM BLEECKER STREET LOOKING NORTHEAST

PERSPECTIVE RENDERING IN CONTEXT



EXISTING BUILDING - VIEW FROM BLEECKER STREET LOOKING NORTHWEST



PROPOSED RENDERING - VIEW FROM BLEECKER STREET LOOKING NORTHWEST

PERSPECTIVE RENDERING IN CONTEXT



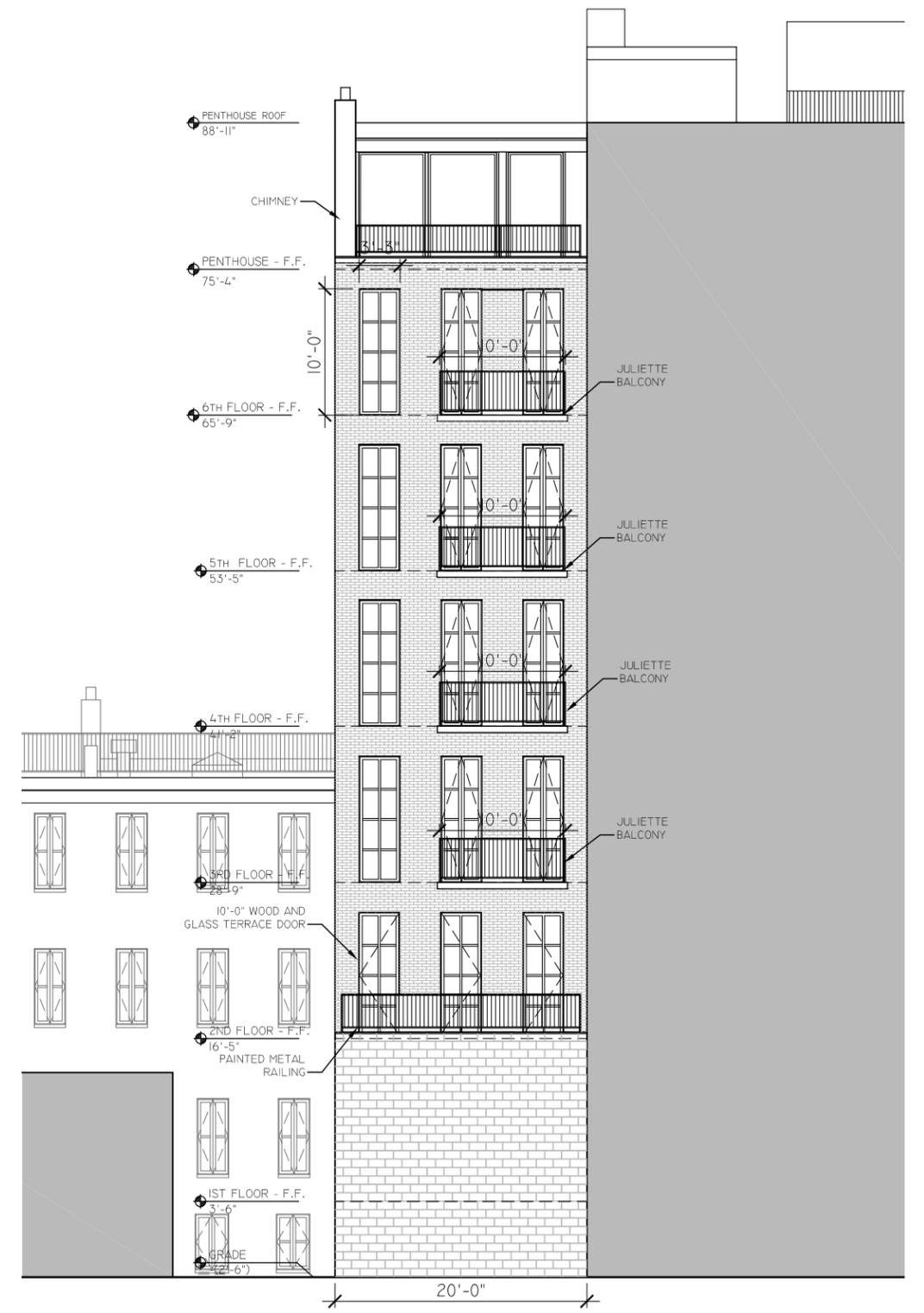
FIRST AND SECOND FLOORS AND EXISTING EXTENSION



EXISTING STEEL PIPE AND CORRUGATED STEEL SHED



FIRST AND SECOND FLOORS



PROPOSED REAR ELEVATION

PROPOSED REAR ELEVATION AND EXISTING PHOTOS

ADDRESS	25 BLEECKER STREET (NARROW STREET)
BLOCK	529
LOT	54
ZONING DISTRICT	MI-5B
MAP #	12C
COMMUNITY BOARD	2
LOT AREA	1,352 SF
USE GROUP	2 RESIDENTIAL, 6 RETAIL
OCCUPANCY GROUP	F4, J2
CONSTRUCTION CLASS	FIREPROOF, IB

6 FLOORS TOTAL (+ CELLAR, PENTHOUSE)
 3 RESIDENTIAL UNITS
 1 RETAIL/RESTAURANT UNIT

1 ELEVATOR REQUIRED
 1 EGRESS STAIR REQUIRED

MAX FAR - 5
 EXISTING LOT SIZE - 1,352 SF
 REQ'D REAR YARD DEPTH - 28' (RESIDENTIAL, SHALLOW LOT)
 MAX BUILDABLE AREA - 6,760 SF
 MAX HEIGHT - SKY EXPOSURE PLANE
 MAX BASE HEIGHT - 6 FLOORS OR 85'

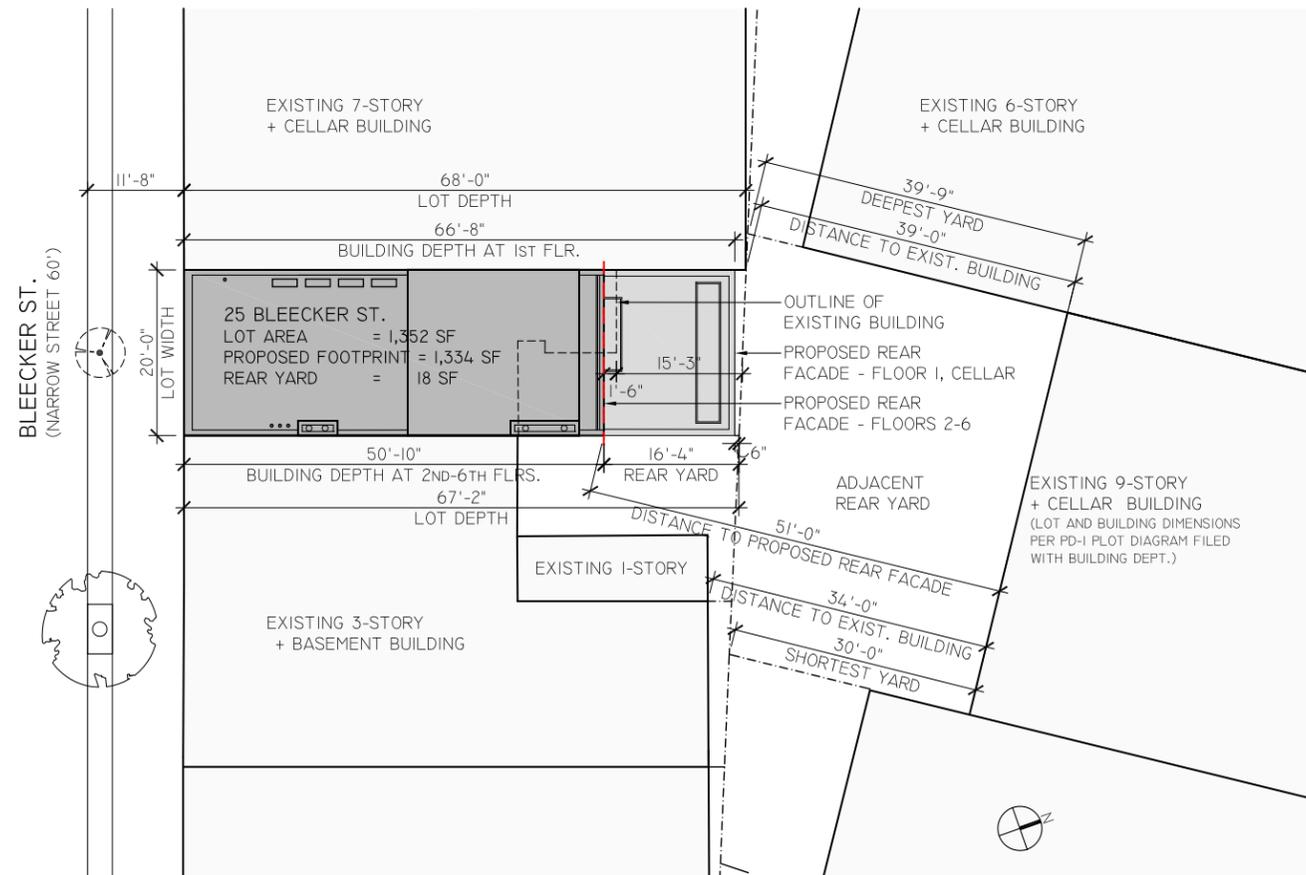
EXISTING AREA - 2,639 SF (EXCLUDES CELLAR)
 EXISTING FAR - 1.95

PROPOSED AREA - 6,758 SF (EXCLUDES CELLAR)
 PROPOSED FAR - 5.0
 REMAINDER - 2 SF
 COMMERCIAL FAR - 0.79 (1,074 SF)
 RESIDENTIAL FAR - 4.20 (5,684 SF)

TOTAL AREA + CELLAR - 8,092 SF

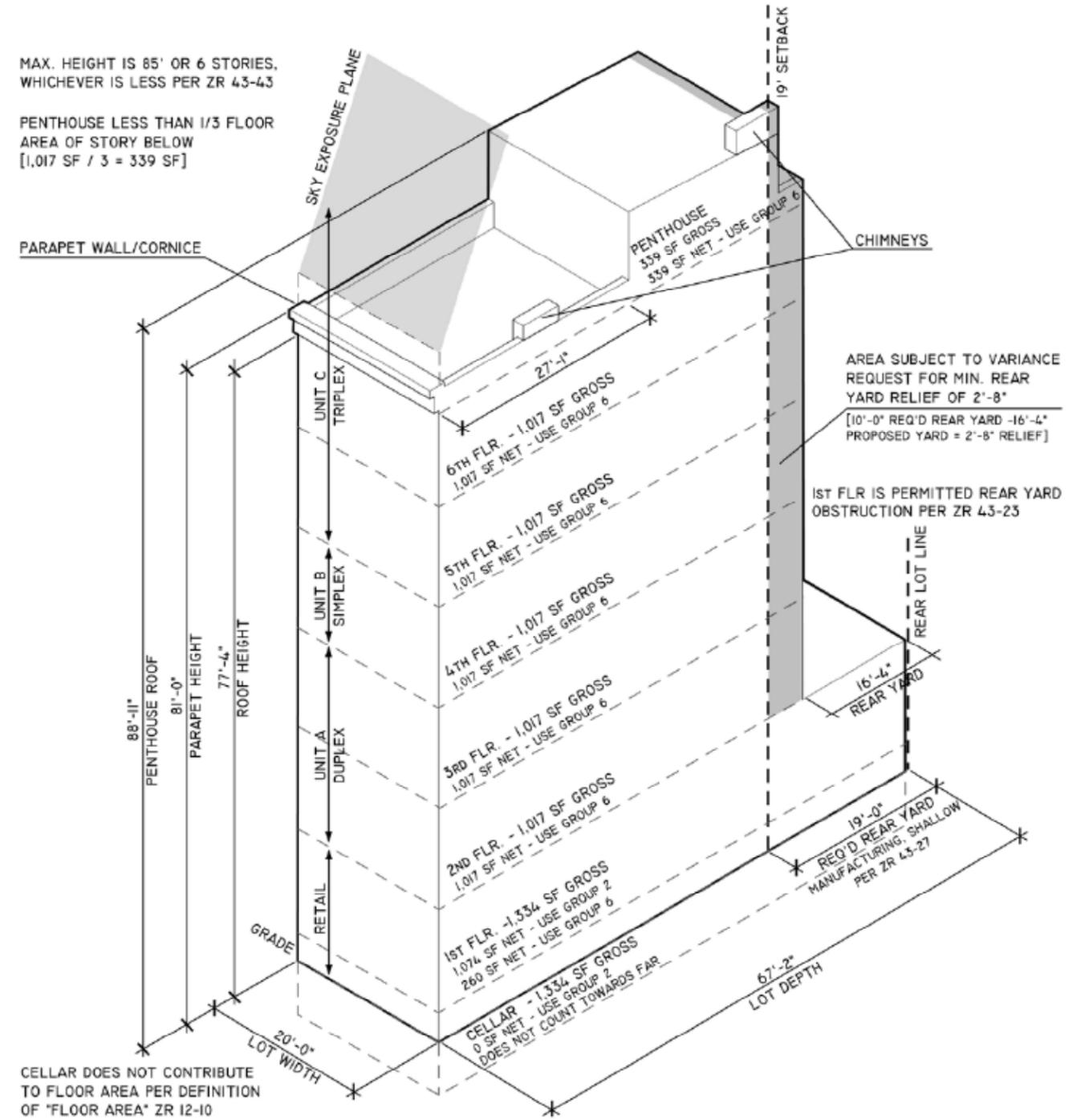
- MANUFACTURING DISTRICT REAR YARD SETBACK = 20'-0"
- SPECIAL PROVISIONS FOR SHALLOW LOTS PER ZR 43-27 ALLOWS FOR A 1'-0" REDUCTION IN THE REQUIRED REAR YARD FOR EVERY 2'-0" BY WHICH THE MAXIMUM LOT DEPTH IS LESS THAN 70'-0"
 - REQUIRED REAR YARD FOR A SHALLOW LOT OF 68'-0" = 19'-0"

25 BLEECKER LOT DIMENSIONS PER SURVEY DATED FEBRUARY 13, 2013 BY CND MAPPING, INC. (NOTE: TAX ID MAP SHOWS LOT AS 68'-3" DEEP)



ZONING SITE DIAGRAM

SCALE: NOT TO SCALE



ZONING AXONOMETRIC DIAGRAM

SCALE: NOT TO SCALE

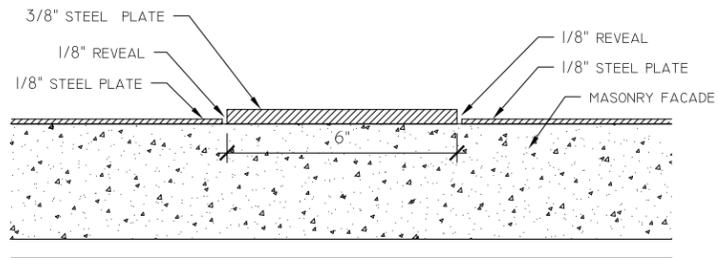
EXISTING PILASTER



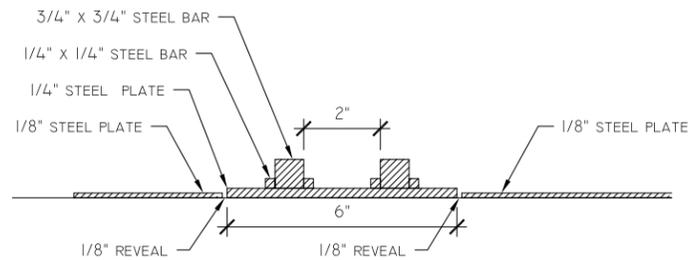
PHOTO



DETAIL PHOTO
EXISTING PILASTER DAMAGED BEYOND REPAIR

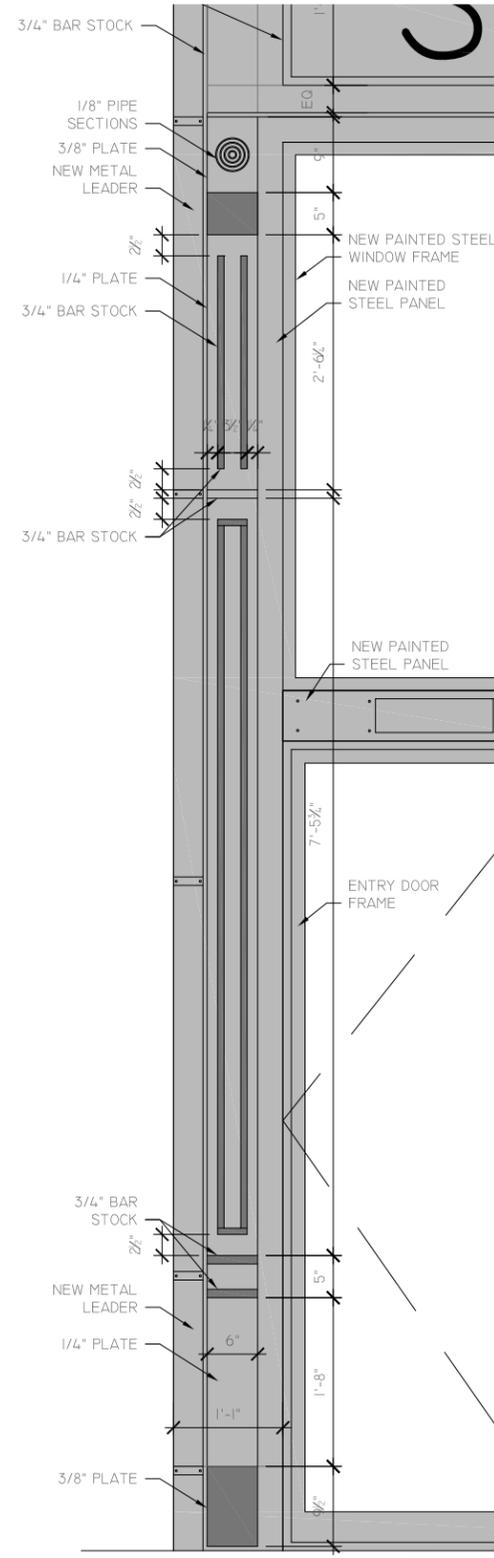


DETAIL SECTION B



DETAIL SECTION A

REPRODUCTION PILASTER TO MATCH
EXISTING

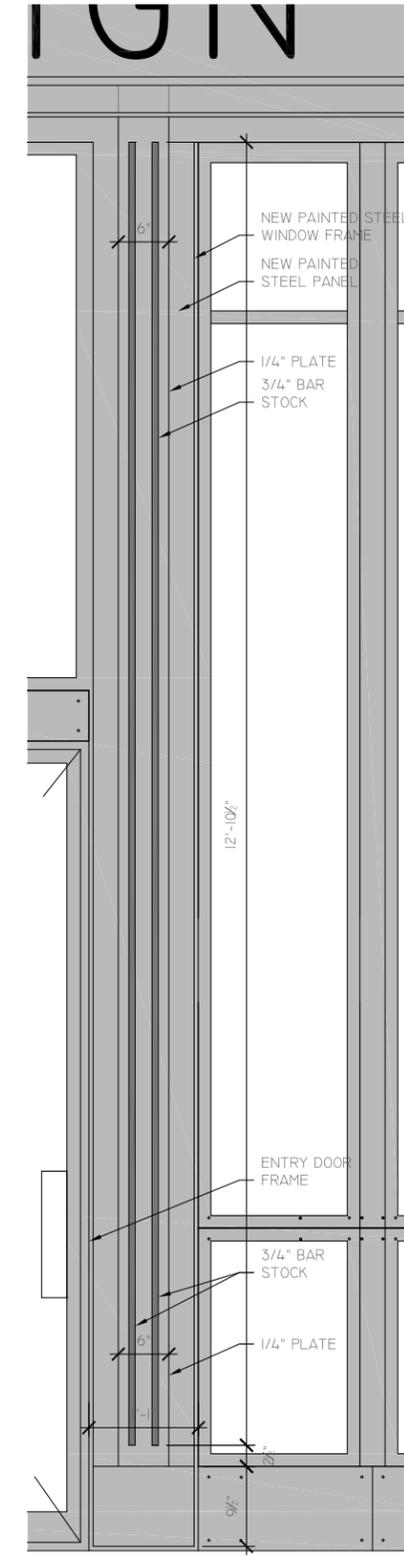


ELEVATION



RENDERING

NEW PIER

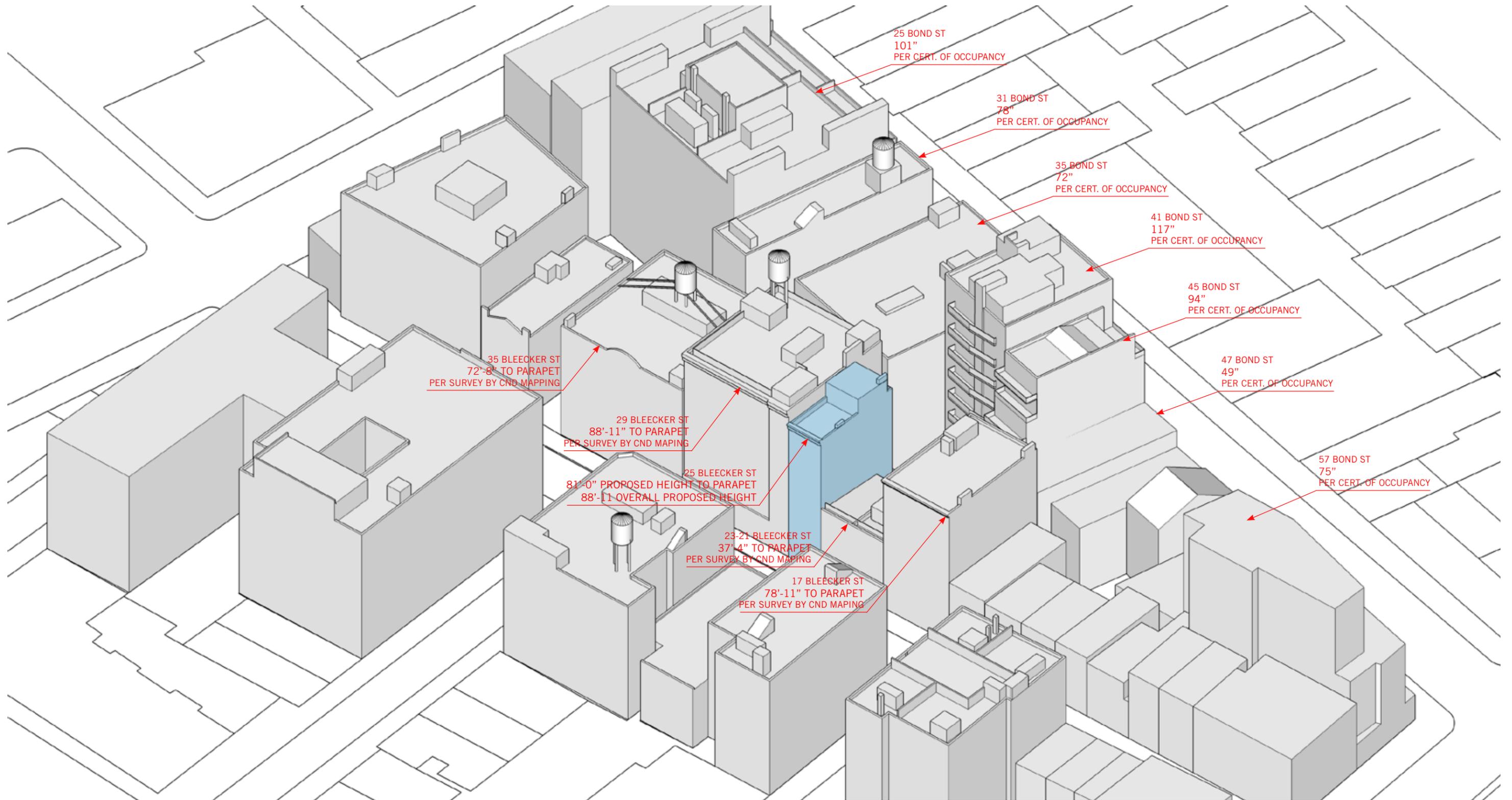


ELEVATION



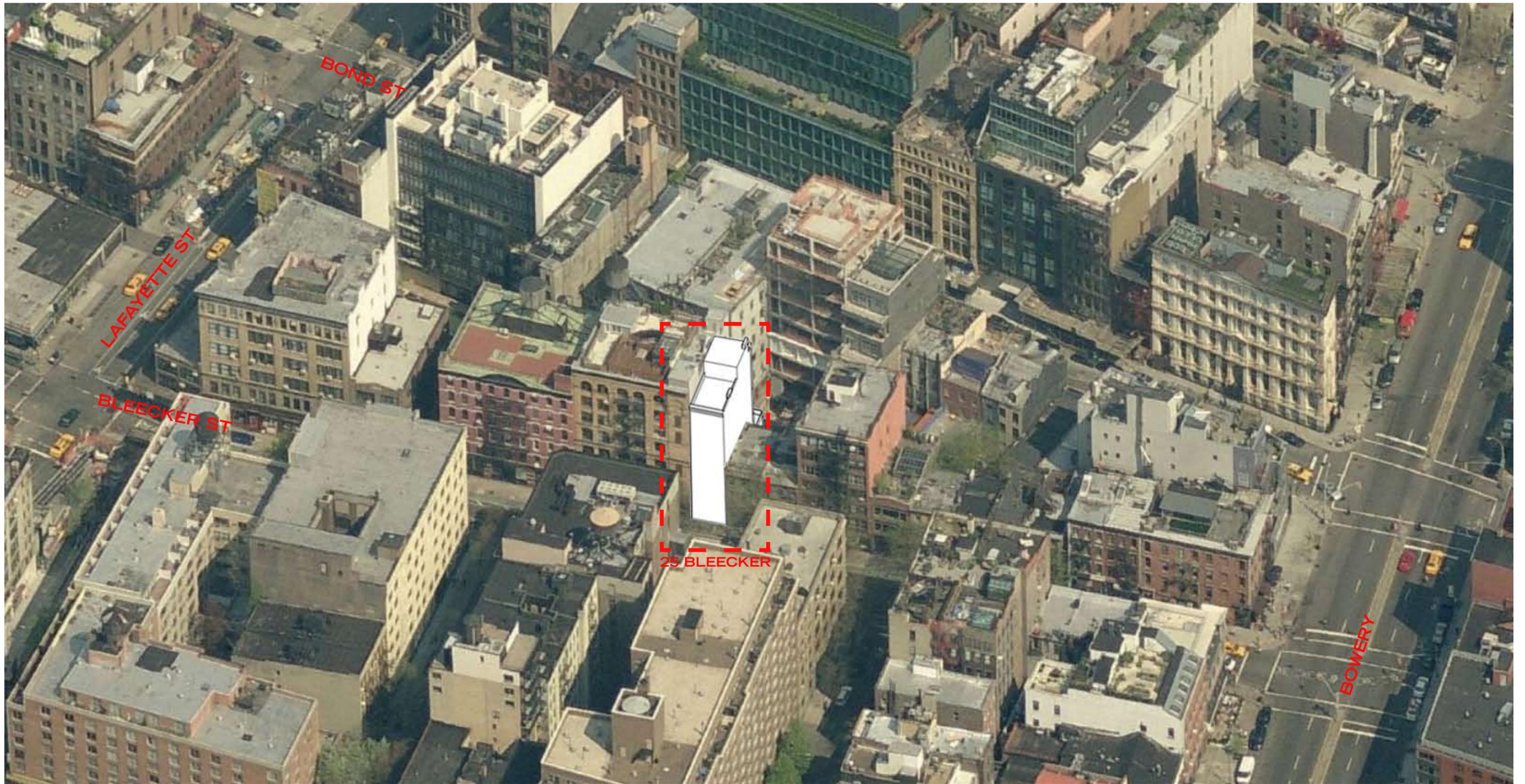
RENDERING

HISTORIC PILASTER DETAILS AND PROPOSED DETAILS



PROPOSED MASSING LOOKING NORTHWEST

HEIGHT DIAGRAM

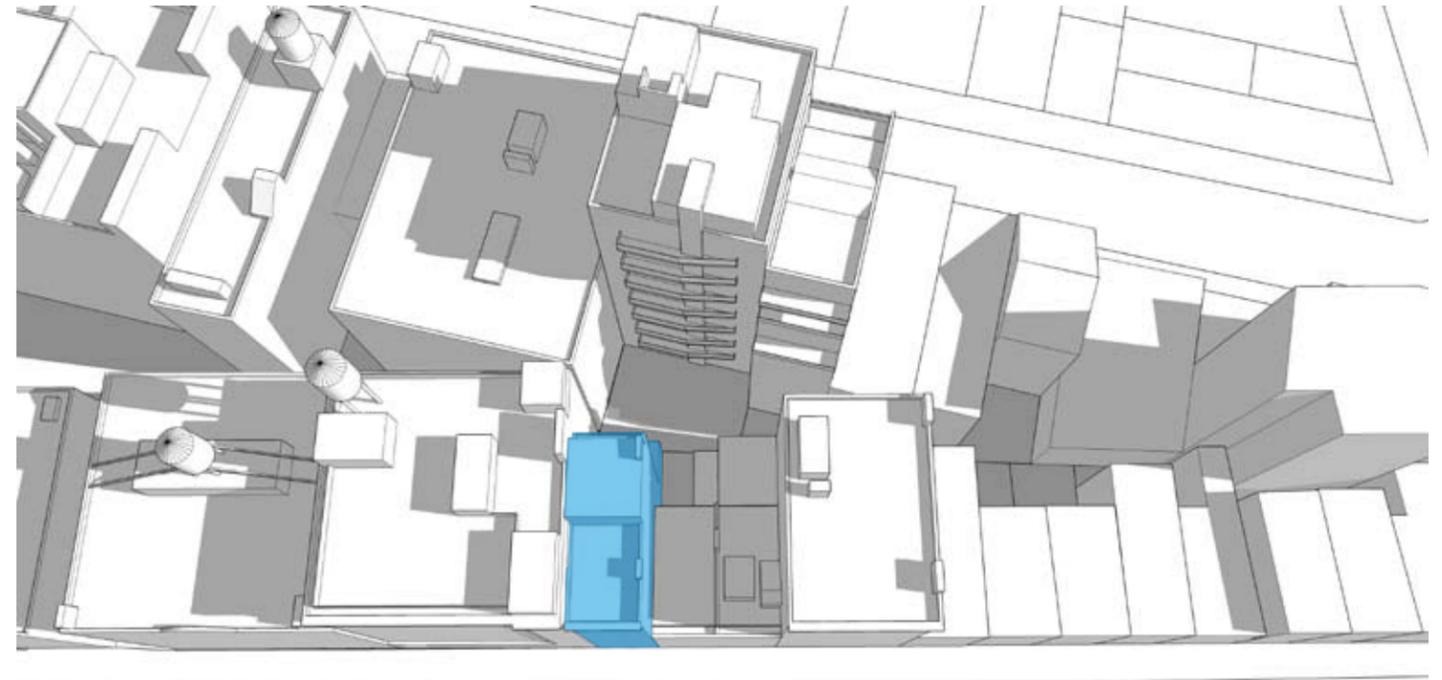


PROPOSED MASSING LOOKING NORTH

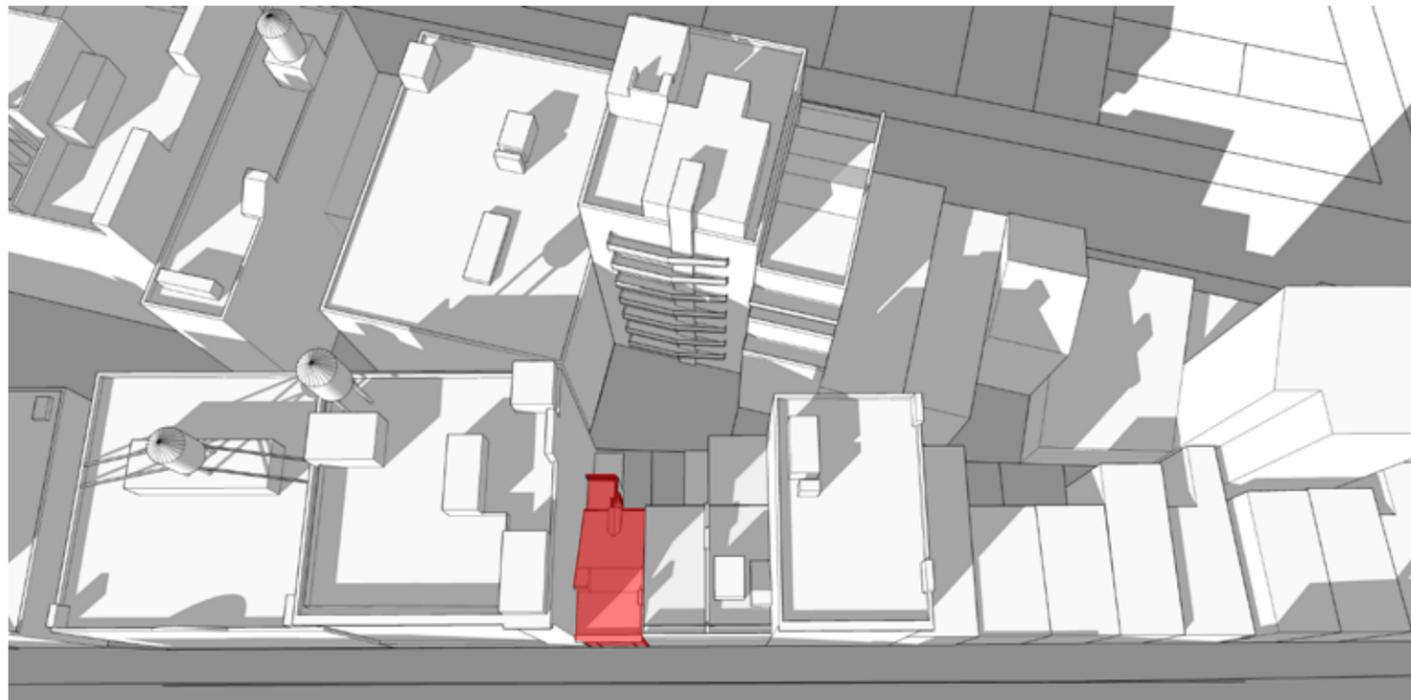
PROPOSED MASSING IN CONTEXT



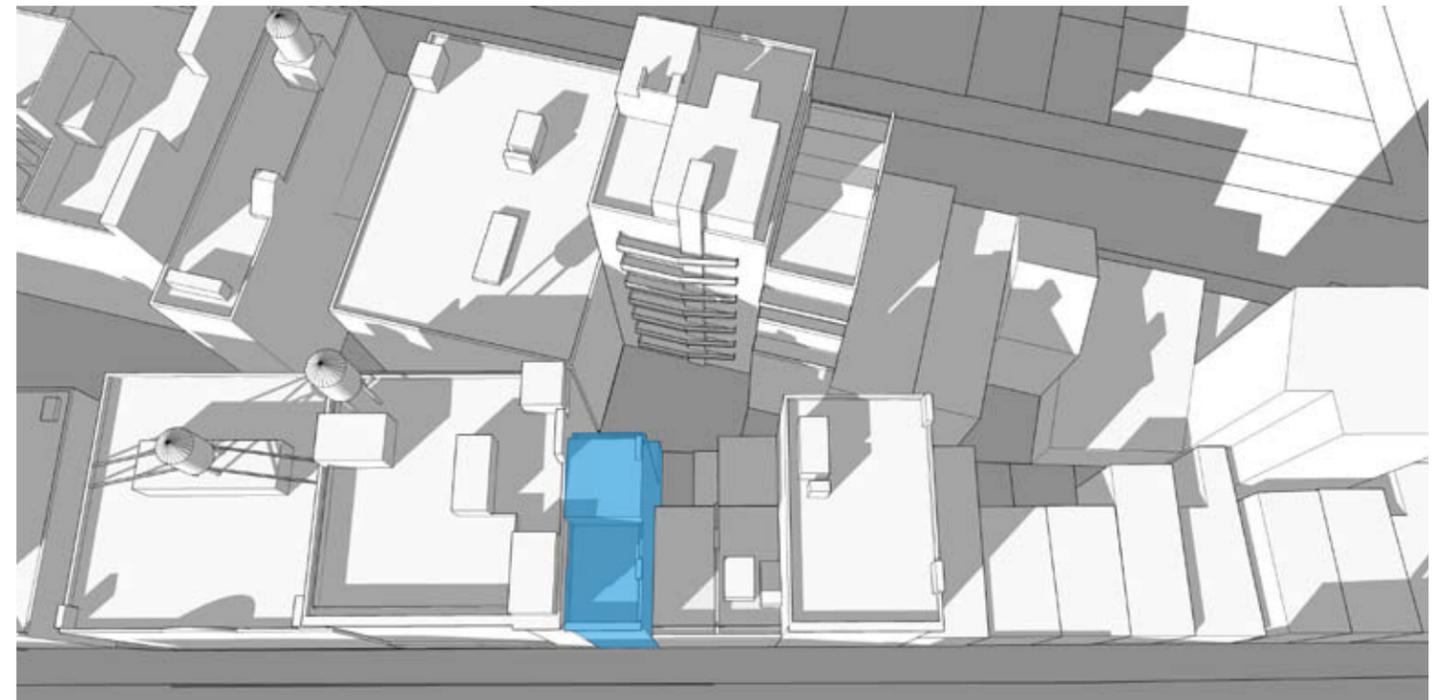
EXISTING BUILDING
MARCH 20/SEPTEMBER 20 - 9AM



PROPOSED BUILDING
MARCH 20/SEPTEMBER 20 - 9AM



EXISTING BUILDING
MARCH 20/SEPTEMBER 20 - 4PM



PROPOSED BUILDING
MARCH 20/SEPTEMBER 20 - 4PM

